



NETWORK VISION MMBTS LAUNCH
BORREGO FIRE
SD54XC453
TOWER

2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY
LATITUDE: 33° 15' 41.019" N (33.26139444)
LONGITUDE: 116° 22' 19.992" W (-116.37171390)
SAN DIEGO MARKET

CALIFORNIA STATE CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- CALIFORNIA ADMINISTRATIVE CODE (INCL TITLE 24 & 25)
- 2010 CALIFORNIA BUILDING CODE
- CITY/COUNTY ORDINANCES
- BUILDING OFFICIALS & CODE ADMINISTRATORS (BOCA)
- 2010 MECHANICAL CALIFORNIA CODE
- ANSI/EIA-222-F LIFE SAFETY CODE NFPA-101
- 2010 CALIFORNIA PLUMBING CODE
- 2010 CALIFORNIA ELECTRICAL CODE
- 2010 LOCAL BUILDING CODE

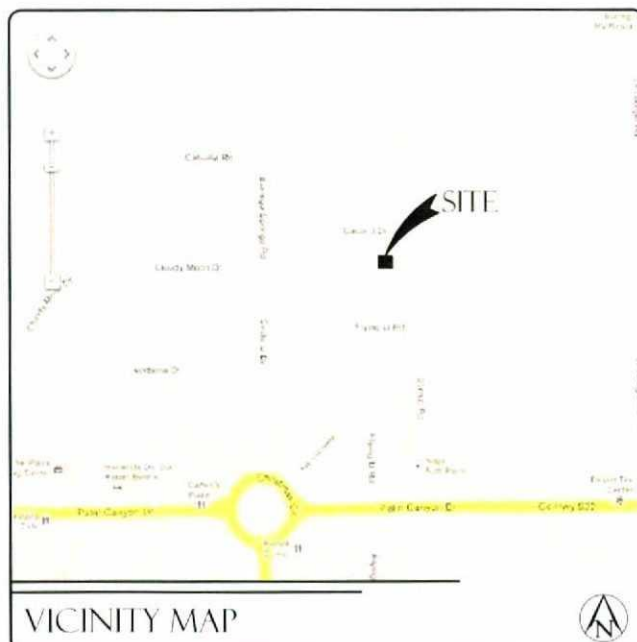
ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2010 CALIFORNIA BUILDING CODE.

CODE BLOCK

APPROVAL	SIGNATURE	DATE
PROJECT MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		
SITE ACQUISITION		
PLANNING CONSULTANT		
PROPERTY OWNER		
SPRINT REPRESENTATIVE		

SIGNATURE BLOCK



VICINITY MAP

FROM SAN DIEGO INTERNATIONAL AIRPORT, CA

HEAD WEST ON AIRPORT TERMINAL RD
KEEP RIGHT AT THE FORK
TURN RIGHT ONTO N HARBOR DR
TURN RIGHT ONTO LANING RD
TURN RIGHT ONTO ROSECRANS ST
KEEP LEFT AT THE FORK
CONTINUE ONTO CAMINO DEL RIO W
KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR I-8/EL CENTRO AND
MERGE ONTO I-8 E
TAKE EXIT 40 FOR CA-79 N/JAPATUL VALLEY RD TOWARD JULIAN
CONTINUE TO FOLLOW CA-79 N
TURN LEFT ONTO CA-79 N/JAPATUL VALLEY RD
CONTINUE TO FOLLOW CA-79 N
TURN RIGHT ONTO CA-78 E/BANNER RD (SIGNS FOR WESTMORLAND/BRAWLEY)
CONTINUE TO FOLLOW CA-78 E
TURN LEFT ONTO YAGUI PASS RD
SLIGHT LEFT ONTO DEEP WELL TR
CONTINUE ONTO BORREGO SPRINGS RD
AT THE TRAFFIC CIRCLE, TAKE THE 2ND EXIT ONTO PALM CANYON DR
TURN LEFT ONTO STIRRUP RD
DESTINATION WILL BE ON THE LEFT

2324 STIRRUP RD, BORREGO SPRINGS, CA 92004

DRIVING DIRECTIONS

SPRINT PROPOSES TO MODIFY AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY.

- REMOVE (4) EXISTING 54" ANTENNAS AND REPLACE WITH (3) PROPOSED 72" ANTENNAS AND (1) PROPOSED 54" ANTENNA
- INSTALL (4) RRH UNITS.

PROJECT DESCRIPTION

APPLICANT:

SAC WIRELESS ON BEHALF OF ALCATEL-LUCENT FOR SPRINT/NEXTEL
5865 AVENIDA ENCINAS, STE 142B
CARLSBAD, CA 92008
CONTACT: MARK BERLIN
PH: (858) 922-0237
EMAIL: MARK.BERLIN@SACW.COM

PROPERTY INFORMATION:

PROPERTY OWNER: BORREGO SPRINGS FIRE PROTECTION DISTRICT
ADDRESS: PO BOX 898,
BORREGO SPRINGS, CA 92004

PH: (760) 767-5436

ZONING CLASSIFICATION: RR (RURAL RESIDENTIAL)
BUILDING CODE: 2010 CBC
CONSTRUCTION TYPE: V-N
OCCUPANCY: S-2
JURISDICTION: COUNTY OF SAN DIEGO
CURRENT USE: TELECOMMUNICATIONS FACILITY
PROPOSED USE: TELECOMMUNICATIONS FACILITY

PARCEL NUMBER(S):

141-193-48

LEASE AREA:

250 SQ FT

PROJECT SUMMARY

SHEET DESCRIPTION

T-1	TITLE SHEET
T-2	PLANNING COMMENTS LETTER
T-3	PLANNING COMMENTS LETTER
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	PROPOSED ENLARGED EQUIPMENT & ANTENNA PLAN
A-4	EXISTING & PROPOSED SOUTH ELEVATION
A-5	EXISTING & PROPOSED WEST ELEVATION
A-6	EXISTING & PROPOSED NORTH ELEVATION
A-7	EXISTING & PROPOSED EAST ELEVATION
A-8	ANTENNA DETAILS

NOTE:
DRAWING SCALE IS 24"X36" ON ALL SHEETS

SHEET INDEX

ARCHITECT:

THOMAS HOLLAND
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
CONTACT: ROBERT LEIGHTON
PH: (206) 464-4402
EMAIL: RLEIGHTON@PTSWA.COM

STRUCTURAL ENGINEER:

CHRIS NICKERSON, PE
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
CONTACT: CHRIS NICKERSON
PH: (206) 464-4415
EMAIL: CNICKERSON@PTSWA.COM

SITE ACQ PROJECT MANAGER:

ALCATEL LUCENT SAN DIEGO
CONTACT: ALEX TSATUROV
PH: (858) 472-4048

CONSTRUCTION MANAGER:

ALCATEL LUCENT SAN DIEGO
CONTACT: GLENN MANZANO
PH: (858) 254-6675

PLANNING CONSULTANT:

SAC WIRELESS
CONTACT: MARK BERLIN
PH: (858) 922-0237

POWER COMPANY:

SDG&E
PH: (800)-336-7343

TELCO COMPANY:

AT&T
CONTACT: BOB ROVERE
PH: (858) 268-6919

PROJECT TEAM

At all new services & grounding trenches,
provide "WARNING" tape at 12" below grade.



DIG ALERT

"CALL BEFORE YOU DIG"

1-800-227-2600

UTILITY NOTIFICATION CENTER OF SOUTHERN CALIFORNIA



PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 230-5714

PROJECT INFORMATION:

NETWORK VISION MMBTS LAUNCH

BORREGO FIRE

SD54XC453

2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE:

01/25/13

ISSUED FOR:

100% ZONING

REVISIONS				
REV.	DATE	DESCRIPTION	INITIALS	
A	04/13/12	ISSUED FOR 90% ZD REVIEW	RLD	
B	10/03/12	ISSUED FOR 100% ZONING	LB	
C	01/25/13	REVISED PER PLANNING COMMENTS	AF	

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

LICENSURE:



SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

REVISION:

1

MARK WARDLAW
Director
BETH A. MURRAY
Assistant Director



November 9, 2012

Mark Berlin
SACW
8585 Avenida Encinas, Ste 142-B
Carlsbad, CA 92008

RE: PROJECT NAME: BORREGO FIRE WIRELESS TELECOMMUNICATION FACILITY MINOR USE PERMIT MODIFICATION; 3401 89-025-09 (ZAP); ENVIRONMENTAL LOG NO.: 3910 89-050-03G (ER); APPLICATION AMENDMENT FORM/COUNTY ADMINISTRATIVE FEES/DOCUMENT REQUEST; 2324 STIRRUP RD, BORREGO SPRINGS; APN 141-193-48-00; KIVA PROJECT: 12-0187359

Dear Mark Berlin

Planning and Development Services (PDS) staff has completed the review of your Application for the Minor Use Permit Modification and have found it to be adequate. However, prior to drafting the decision which will include conditions that will need to be satisfied for your project, we request your concurrence with the project conditions. Please review the attached Application Amendment Form and, if you concur with the conditions, sign and return the original as soon as possible. It is recommended that you review these conditions closely as they cannot be changed after project approval. Your concurrence is being requested so that we may move forward with processing a CEQA Exemption for your project.

NOTE: We strongly suggest that you review these measures carefully because changing them later may result in substantial costs and delays in the processing of your project.

DEPARTMENT RECOMMENDATION
Comments and information in this letter, or lack thereof, should not be construed as the Department implying an overall recommendation or decision on your project. Planning & Development Services generally makes a final recommendation or decision to approve or deny a project when all planning analysis and environmental

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documentation is complete and, if applicable, Planning/Sponsor Group input is received.

ESTIMATE OF DISCRETIONARY PROCESSING TIME AND COSTS

Your original discretionary processing cost estimate is attached. Based on your current point in progress, your project is currently well ahead of schedule and far below the projected budget. Once we receive a recommendation from the Borrego Spring Community Planning Group, we will be able to give a more definite date of the Zoning Administrator Hearing.

Your project has been determined to be exempt from the California Environmental Quality Act (CEQA) and a Notice of Exemption (NOE) must be filed at project approval. A County administrative fee of \$50 dollars must be paid at the time of filing a NOE. The filing of a Notice of Exemption allows a project to be challenged for a period of 35 days. However, if the Notice of Exemption is not filed, this period is extended to 180 days. If the County Administrative Fee is not paid, the Notice of Exemption will not be filed. **The payment must be by certified check or cashier's check payable to the "County of San Diego" and can be submitted to the cashier at the PDS office or directly to the County Clerk.**

MINOR COMMENTS

The following minor comments on the plans were discussed during project intake. Ensure the following revisions are incorporated into the final technical documents, prior to reproduction and submittal to PDS.

- On page T-1, denote that of the four panel antennas being replaced, three are 72" in height, and one is 54" in height.
- Notes throughout the application state that there are no changes to the equipment cabinet. However, page A-3 shows parts of the equipment cabinet shaded, which typically denotes changes. Either un-shade these areas of the equipment cabinet, or explain the proposed changes. If there are changes, correct all areas of the application to reflect this.
- There are "proposed" elevations, but nothing showing "existing." Please show existing antennas which will be removed, and clearly label.
- There are two pages marked A-3. Please mark the first page as A-3.0 and the second (with the equipment cabinet) A-3.1.
- It would be beneficial to the reader and the Decision Maker to know all the dimensions of the existing panel antennas (height, width, depth) and proposed antennas (height, width, depth) to fully understand the changes. This can be listed on T-1 and A-3.0.

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November 9, 2012

- The official project name is "Borrego Fire," as opposed to "Borrego Southeast." Please update the plans to reflect this.

RECORDATION OF PERMIT

Pursuant to the San Diego County Zoning Ordinance Section 7019, Permit Decisions for Administrative Permits, Density Bonus Permits, Site Plans, Use Permits, Variances, Redemptions, or any modifications to these permits shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. The Recordation form, with Decision attached, will be provided immediately after the Decision determination for this project and must be signed, notarized and returned to PDS at the initiation of the Condition Satisfaction Process, or as otherwise specified. Once received, PDS staff shall have the document recorded at the County Recorder's Office.

SUBMITTAL REQUIREMENTS

Unless other agreements have been made with County staff, you must submit all of the following items concurrently and by the submittal date listed below in order to make adequate progress and to minimize the time and costs in the processing of your application. The submittal must be made to the PDS Zoning Counter at 5510 Overland Avenue, Suite 110, San Diego, CA 92123. For fastest service when submitting information requested in this letter, arrive at the PDS Zoning Counter between 8:00 a.m. and 10:00 a.m. Please note that all PDS Counters are closed daily from 11:45 a.m. through 12:30 p.m. Expect longer wait times before and after the lunchtime closure.

The submittal must include the following items:

- A copy of this letter.
- The following information and/or document(s) with the requested number of copies as specified. All copies must be the latest version of the document and clean with all strike-out/underline text removed. Any maps or figures associated with a study must not exceed 11" x 17" (maximum). The Project Number and Environmental Log Number must be clearly and visibly labeled on all submitted documents.

Information/Document	# of Copies	CD or Flash Drive with Word and PDF Doc	Lead Review/Section or Dept (For Admin Purposes Only)
Corrected Plot Plan Exhibit (11 x 17" max.) with edits	6		Marisa Smith <small>(Business Rule Plot Plan)</small>

APPLICATION AMENDMENT FORM

PROJECT NAME: Borrego Fire Wireless Telecommunication Facility Minor Use Permit Modification

CASE NUMBERS: 3401 89-025-09 (ZAP), 3910 89-050-03G (ER)

I would like to amend my application for the above-listed project to include as part of the project proposal the following conditions of approval:

ANY PERMIT: (Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit)

- COST RECOVERY: [PDS, DPW, DEH, DPR], [GP, CP, BP, UO]**
Intent: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **Description of requirement:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **Documentation:** The applicant shall provide a receipt to the Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No permit can be issued if there are deficit deposit accounts. **Timing:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and discretionary deposit accounts shall be paid. **Monitoring:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DPW, DEH, and DPR deposit accounts have been paid.
- RECORDATION OF DECISION: [PDS], [GP, CP, BP, UO]**
Intent: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **Description of requirement:** The applicant shall sign, notarize with an "all purpose acknowledgement" and return the original Recordation Form to PDS. **Documentation:** Signed and notarized original Recordation Form. **Timing:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **Monitoring:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

OCCUPANCY: (Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).

- PHOTO SIMULATION: [PDS, PCC] [UO, FG] [PDS, FEE]**

Sprint

Alcatel-Lucent

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 255-5714

PROJECT INFORMATION

NETWORK VISION MMBEST MUNCH
BORREGO FIRE
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BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE:

01/25/13

ISSUED FOR:

100% ZONING

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REV.	DATE	DESCRIPTION	INITIALS
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0	10/03/12	ISSUED FOR 100% ZONING	LB
Δ	01/25/13	REVISED PER PLANNING COMMENTS	AF

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

ENCLOSURE:



SHEET TITLE:

PLANNING COMMENTS LETTER

SHEET NUMBER:

T-2

REVISION:

1

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Valuation sheet	1	Manisa Smith <small>(Business Rule Miscellaneous Worksheet)</small>
Proof of payment (i.e., receipt) of administrative fees	1	Marisa Smith <small>(Business Rule Fee and Game Fees Receipt)</small>
Application Amendment Form signed and dated.	1	Manisa Smith <small>(Business Rule Application Amendment Form)</small>

SUBMITTAL DUE DATE: The Department requires that the Application Amendment Form (copies of documents and proof of payment of the Department of Fish and Game fees) requested in this letter be submitted by **November 26, 2012**. An extension of this date may be granted by the Director of Planning & Development Services upon submittal of a written request, signed and dated by the project applicant. The request must include the proposed revised timeline and a brief reasoning for the extension request.

The Department's goal is to help facilitate the efficient and timely processing of each application. If, however, a project becomes delayed due to excessive project inactivity or account deficit, Board Policy I-137 will apply; please refer to the Board Policy I-137 at http://www.sdcourty.ca.gov/PDS/docs/inactive_Case_Board_Policy-11.3.09.pdf and the FAQ sheet at <http://www.sdcourty.ca.gov/uegdocs/PDS%20FORMS/Cover%20Sheets/Zoning%20Forms/PDS-907.%20Processing%20Inactive.%20Deficit%20Projects.pdf> for the Processing of Inactive and Deficit Projects.

If you have any questions or need additional information, please contact me at (858) 694-2621 or by e-mail at marisa.smith@sdcourty.ca.gov.

Sincerely,

Marisa Smith, Project Manager
Project Planning Division

JR:ms

cc: Borrego Springs Fire Protection District, PO Box 898, Borrego Springs, CA 92004

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November 9, 2012

Sprint, c/o Alcatel Lucent, Alex Tsaturov, 9605 Scranton Rd, Ste 400, San Diego, CA 92121
PTS, 3199C Airport Loop Drive, Costa Mesa, CA 92626

Email cc:

Ed Sinsay, Team Leader, Department of Public Works
Jarrett Ramalya, Planning Manager, Planning & Development Services
Borrego Springs Planning/Sponsor Group

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INTENT: In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plans and photo-simulations. **DESCRIPTION OF REQUIREMENT:** The site shall be built to substantially comply with the approved photo-simulations dated October 26, 2012. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans and the photo-simulations. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] shall review the provided photos for compliance with this condition and compliance with the photo-simulations.

4. **INSPECTION FEE:** [PDS, ZONING][PDS, PCO] [UO][DPR, TC, PP]. **Intent:** In order to comply with Zoning Ordinance Section 7362.e the Discretionary Inspection Fee shall be paid. **Description of Requirement:** Pay the Discretionary Permit Inspection Fee at the [PDS, Zoning Counter] and schedule an appointment for a follow up inspection with the County Permit Compliance Officer to review the on-going conditions associated with this permit. The inspection shall be scheduled no later than the six months subsequent to establishing the intended use of the permit. **Documentation:** The applicant shall provide a receipt showing that the inspection fee has been paid. The applicant shall also schedule the follow up inspection with the [PDS, PCC]. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **Monitoring:** The [PDS, Zoning Counter] shall process an invoice and collect the fee for the Use Permit Compliance Inspection Fee. Upon collection of the fee, an inspection milestone shall be entered to schedule an inspection six months from the date that occupancy or use of the site was established. The permittee contact information shall be updated in the County permit tracking system, and the [PDS, Permit Compliance Officer] should be notified. The [PDS, Permit Compliance Officer] shall contact the permittee and schedule the initial inspection.
5. **SITE PLAN IMPLEMENTATION:** [PDS, BI] [UO] [DPR, TC, PP]. **Intent:** In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **Description of Requirement:** The site shall conform to the approved Minor Use Permit Modification plot plan and the building plans. This includes, but is not limited to, improving all parking areas and driveways, installing all required design features, painting all structures with the approved colors, required and approved signage is installed and located properly, and all temporary construction facilities have been removed from the site. **Documentation:** The applicant shall ensure that the site conforms to the

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November 9, 2012

The undersigned, as the individual(s) with legal authority to fully represent the above-referenced project, concur with the inclusion of the above-listed amendments as conditions of approval of the referenced project.

By _____ Date _____
(Print Name and Title)

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November 9, 2012

approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **Monitoring:** The [PDS, Building Inspector] and DPR [TC, PP] shall inspect the site for compliance with the approved Building Plans.

ONGOING: (Upon establishment of use The following conditions shall apply during the term of this permit)

6. **SITE CONFORMANCE:** [PDS, PCO] [OG] [DPR, TC, PP]. **Intent:** In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **Description of Requirement:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s). This includes, but is not limited to maintaining the following: all parking and driveways areas, watering all landscaping at all times, painting all necessary aesthetics design features, and installing all lighting, walls/fencing and required signage. Failure to conform to the approved plot plan(s) is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **Documentation:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **Monitoring:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.
7. **PRIVATE ROAD MAINTENANCE:** [PDS, CODES] [BP, IP, GP, UO]. **INTENT:** In order to ensure that the on and offsite private roads are maintained and not damaged during construction and during the term of the permit, the applicant shall assume responsibility. **DESCRIPTION OF REQUIREMENT:** The applicant is responsible for the repair of any damage caused by this Project during construction and the term of this permit to on-site and off-site private roads that serve the Project. Furthermore, the applicant is responsible for maintenance on a proportional basis (number of trips) during the term of this permit to on-site and off-site private roads that serve the Project. **DOCUMENTATION:** The applicant shall assume responsibility pursuant to this condition. **TIMING:** Upon establishment of use, this condition shall apply during the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.
8. **SITE CONFORMANCE:** [PDS, PCO] [OG]. **INTENT:** In order to comply with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially

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November 9, 2012

comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements. This includes, but is not limited to maintaining the following:

- a. Maintain the appearance of the facility, surrounding trees, landscaping, and associated equipment shelter, as depicted in the approved photo simulations.
- b. All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
- c. All wireless telecommunications sites including antennae and cabinets shall be kept clean and free of litter, display a legible operator's contact number for reporting maintenance problems, and be secured to prohibit unauthorized access.
- d. Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the final day of use or determination that the facility has been abandoned, whichever occurs first. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days before the final day of use. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.

DOCUMENTATION: The property owner and applicant shall conform to the ongoing requirements of this condition. Failure to conform to the approved plot plan(s), is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

Sprint

Alcatel-Lucent

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 230-5714

PROJECT INFORMATION

NETWORK VISION AMBUSH ALPHAT
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1	01/25/13	REVISED PER PLANNING COMMENTS	AF

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

LICENSED:



SHEET TITLE:

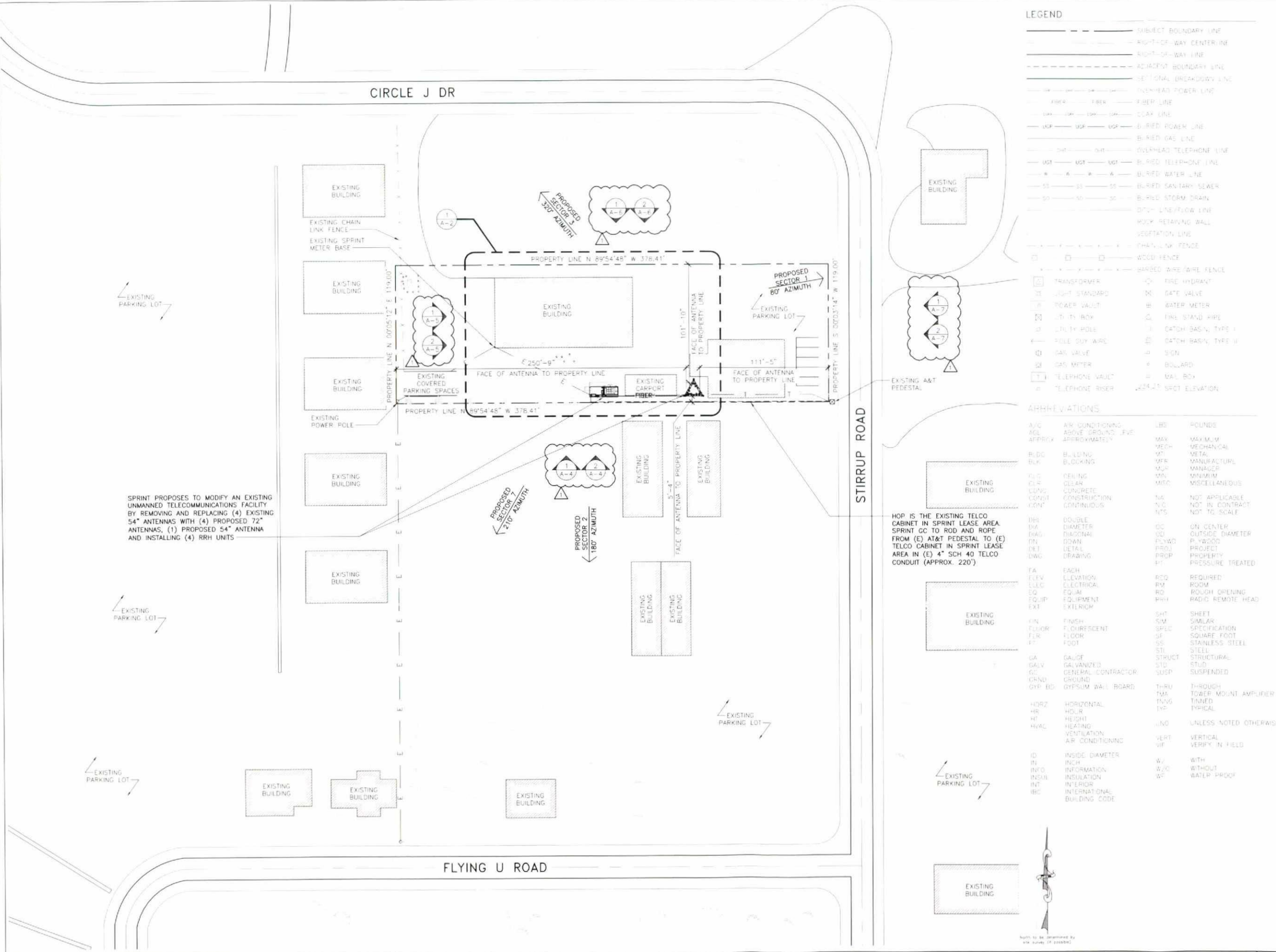
PLANNING COMMENTS LETTER

SHEET NUMBER:

T-3

REVISION:

1



LEGEND

---	SUBJECT BOUNDARY LINE	---	OVERHEAD POWER LINE
---	RIGHT-OF-WAY CENTERLINE	---	OVERHEAD TELEPHONE LINE
---	RIGHT-OF-WAY LINE	---	BURIED POWER LINE
---	ADJACENT BOUNDARY LINE	---	BURIED GAS LINE
---	SECTIONAL BREAKDOWN LINE	---	BURIED TELEPHONE LINE
---	OVERHEAD POWER LINE	---	BURIED WATER LINE
---	FIBER LINE	---	BURIED SANITARY SEWER
---	COAX LINE	---	BURIED STORM DRAIN
---	BURIED POWER LINE	---	DITCH LINE/FLOW LINE
---	BURIED GAS LINE	---	WOOD RETAINING WALL
---	BURIED TELEPHONE LINE	---	VEGETATION LINE
---	BURIED WATER LINE	---	CHAIN LINK FENCE
---	BURIED SANITARY SEWER	---	WOOD FENCE
---	BURIED STORM DRAIN	---	BARBED WIRE/WIRE FENCE
---	DITCH LINE/FLOW LINE	---	TRANSFORMER
---	WOOD RETAINING WALL	---	FIRE HYDRANT
---	VEGETATION LINE	---	GATE VALVE
---	CHAIN LINK FENCE	---	WATER METER
---	WOOD FENCE	---	FIRE STAND PIPE
---	BARBED WIRE/WIRE FENCE	---	CATCH BASIN, TYPE I
---	TRANSFORMER	---	CATCH BASIN, TYPE II
---	FIRE HYDRANT	---	SIGN
---	GATE VALVE	---	BOLLARD
---	WATER METER	---	MAIL BOX
---	FIRE STAND PIPE	---	SPOT ELEVATION
---	CATCH BASIN, TYPE I	---	
---	CATCH BASIN, TYPE II	---	
---	SIGN	---	
---	BOLLARD	---	
---	MAIL BOX	---	
---	SPOT ELEVATION	---	

ABBREVIATIONS

A/C	AIR CONDITIONING	LBS	POUNDS
AGL	ABOVE GROUND, JVE	MAX	MAXIMUM
APPROX	APPROXIMATELY	MECH	MECHANICAL
B/LC	BUILDING BLOCKING	MET	METAL
B/K	BLOCKING	MFR	MANUFACTURE
C/C	CLEAR	MGR	MANAGER
CLF	CLEAR	MIN	MINIMUM
CONC	CONCRETE	MISC	MISCELLANEOUS
CONSTR	CONSTRUCTION	NA	NOT APPLICABLE
CONT	CONTINUOUS	N/C	NOT IN CONTRACT
DI	DOUBLE	N/S	NOT TO SCALE
DIA	DIAMETER	OC	ON CENTER
DIA	DIAGONAL	OD	OUTSIDE DIAMETER
DN	DOWN	P/WOOD	PLYWOOD
DET	DETAIL	PROJ	PROJECT
DWG	DRAWING	PROP	PROPERTY
EA	EACH	PT	PRESSURE TREATED
ELEV	ELEVATION	REQ	REQUIRED
ELEC	ELECTRICAL	RM	ROOM
EQ	EQUIPMENT	RO	ROUGH OPENING
EQUIP	EQUIPMENT	RHH	RADIO REMOTE HEAD
EXT	EXTERIOR	SHT	SHEET
FIN	FINISH	SGM	SIMILAR
FLOR	FLOURESCENT	SPEC	SPECIFICATION
FLR	FLOOR	SF	SQUARE FOOT
FT	FOOT	SS	STAINLESS STEEL
GA	GAUGE	STL	STEEL
GALV	GALVANIZED	STRUCT	STRUCTURAL
GC	GENERAL CONTRACTOR	STD	STANDARD
GRND	GROUND	SUSP	SUSPENDED
GYP BD	GYPSUM WALL BOARD	THRU	THROUGH
HDRZ	HORIZONTAL	TMA	TOWER MOUNT AMPUDER
HOLR	HOLE	TINN	TINNED
HT	HEIGHT	TYP	TYPICAL
HVAL	HEATING	UNO	UNLESS NOTED OTHERWISE
VENT	VENTILATION	VERT	VERTICAL
AC	AIR CONDITIONING	VF	VERIFY IN FIELD
ID	INSIDE DIAMETER	W	WITH
IN	INCH	W/O	WITHOUT
INFO	INFORMATION	WP	WATER PROOF
INSUL	INSULATION		
INT	INTERIOR		
IBC	INTERNATIONAL BUILDING CODE		

PROJECT INFORMATION

NETWORK VISION AMBISTAR II

BORREGO FIRE

SD54XC453

2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE: 01/25/13

ISSUED FOR: 100% ZONING

REVISIONS

REV	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% ZD REVIEW	RLD
B	10/03/12	ISSUED FOR 100% ZONING	LB
1	01/25/13	REVISED PER PLANNING COMMENTS	AF

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE: SITE PLAN

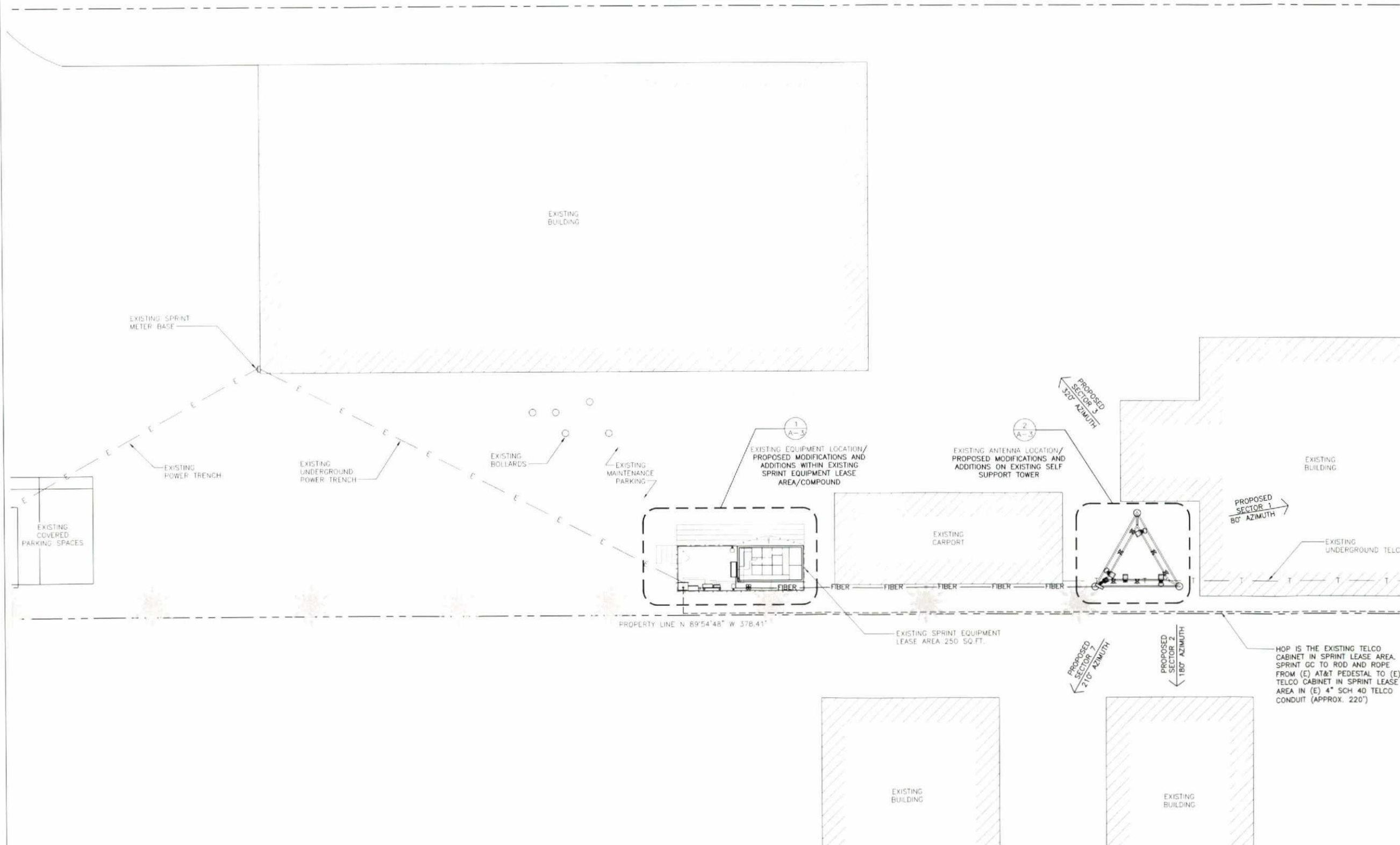
SHEET NUMBER: A-1

REVISION: 1

NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT CDMA COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.

PROPERTY LINE N 89°54'48" W 378.41'



24"x36" SCALE: 1" = 10'-0"
11"x17" SCALE: 1" = 20'-0"

Sprint

Alcatel-Lucent

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP, DRIVE
COSTA MESA, CA 92626
PHONE: (714) 230-5714

PROJECT INFORMATION:

NETWORK VISION AMBISTAMPO II
BORREGO FIRE
SD54XC453
2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE:

01/25/13

ISSUED FOR:

100% ZONING

REVISIONS:

REV.	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% ZD REVIEW	RLD
B	10/03/12	ISSUED FOR 100% ZONING	LB
C	01/25/13	REVISED PER PLANNING COMMENTS	AF

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

LICENSE:



SHEET TITLE:

ENLARGED SITE PLAN

SHEET NUMBER:

A-2

REVISION:

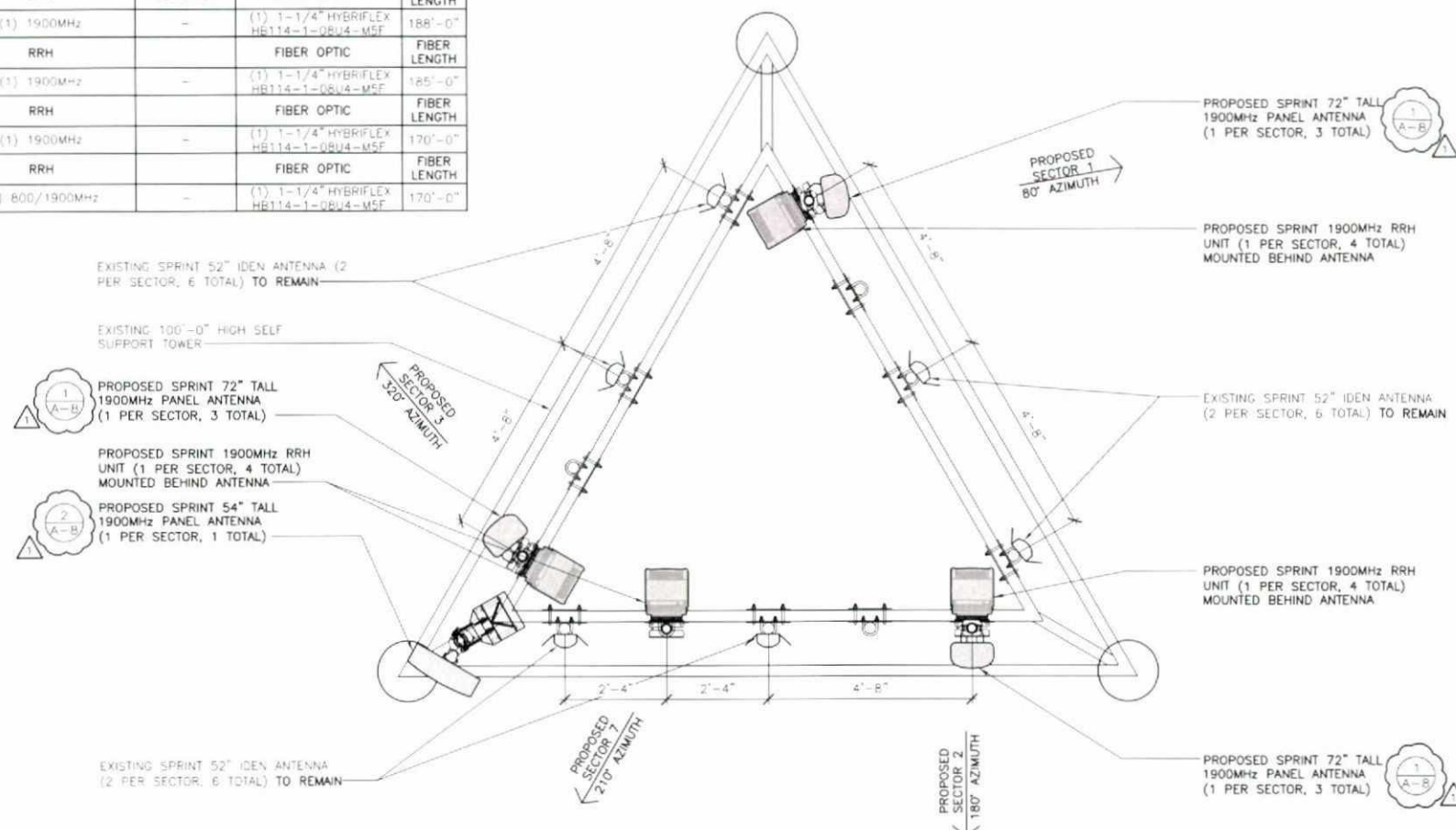
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ENLARGED SITE PLAN | 1

CONTRACTOR TO SET FINAL THIS SHEET FOR BUILD												
SECTOR	1	AZIMUTH	RADCENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	EFFECTIVE TILT	MECH. TILT	RET	RRH	COMBINER	FIBER OPTIC
1900MHz	80°	70°-0"	1	RFS	APXVSP18-C-A20		0	0	0	(1) 1900MHz	-	(1) 1-1/4" HYBRIFLEX HB114-1-GRU4-MSE
SECTOR	2	AZIMUTH	RADCENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	EFFECTIVE TILT	MECH. TILT	RET	RRH	COMBINER	FIBER OPTIC
1900MHz	180°	70°-0"	1	RFS	APXVSP18-C-A20		0	0	0	(1) 1900MHz	-	(1) 1-1/4" HYBRIFLEX HB114-1-GRU4-MSE
SECTOR	3	AZIMUTH	RADCENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	EFFECTIVE TILT	MECH. TILT	RET	RRH	COMBINER	FIBER OPTIC
1900MHz	320°	70°-0"	1	RFS	APXVSP18-C-A20		0	0	0	(1) 1900MHz	-	(1) 1-1/4" HYBRIFLEX HB114-1-GRU4-MSE
SECTOR	7	AZIMUTH	RADCENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	EFFECTIVE TILT	MECH. TILT	RET	RRH	COMBINER	FIBER OPTIC
1900MHz	210°	70°-0"	1	POWERWAVE	P40-16-XLPP-RB-A		-1	0	0	(1) 800/1900MHz	-	(1) 1-1/4" HYBRIFLEX HB114-1-GRU4-MSE

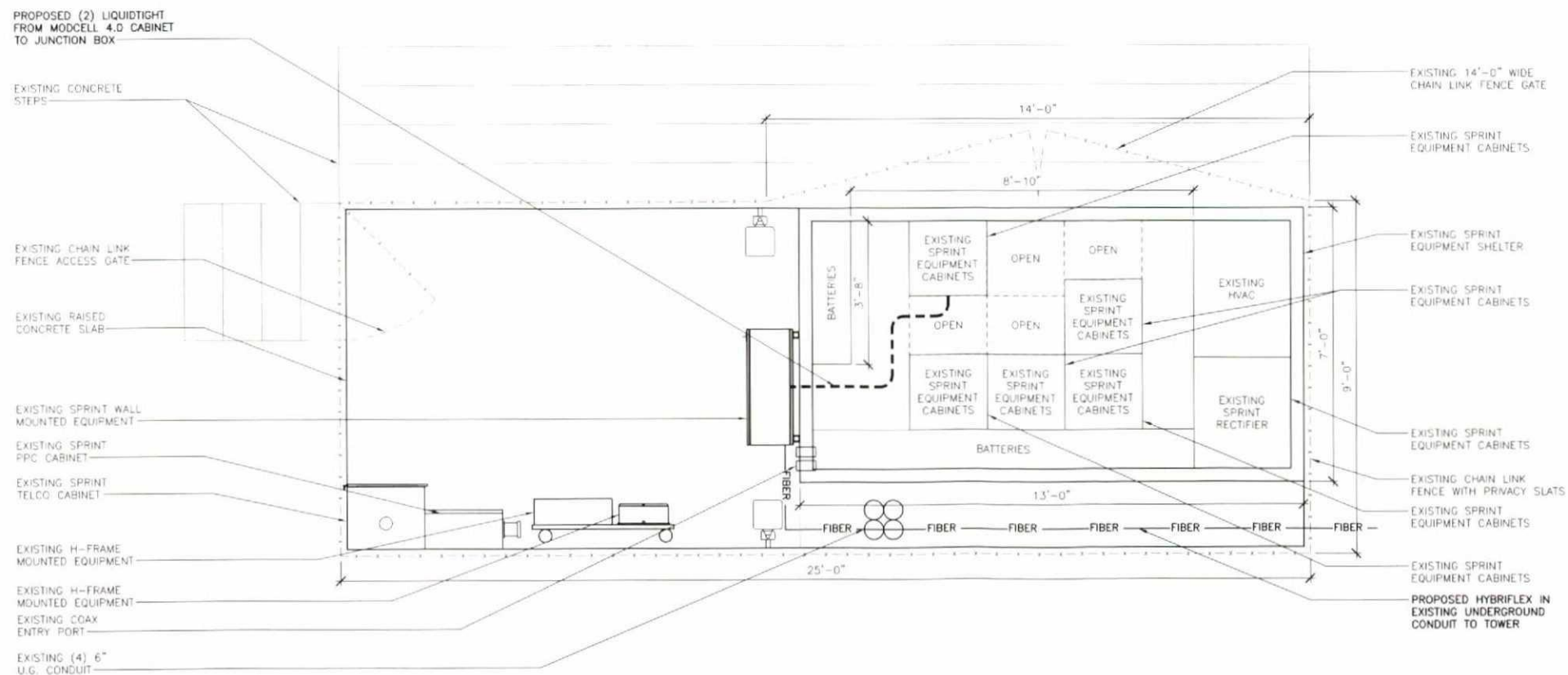
NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT CDMA COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.



24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

PROPOSED ENLARGED ANTENNA PLAN 2



24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

PROPOSED ENLARGED EQUIPMENT PLAN 1

Sprint

Alcatel-Lucent

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 250-5714

PROJECT INFORMATION

NETWORK VISION WIRELESS LAUNCH

BORREGO FIRE
SD54XC453

2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE:

01/25/13

ISSUED FOR:

100% ZONING

REVISIONS				
REV	DATE	DESCRIPTION	INITIALS	
A	04/13/12	ISSUED FOR 90% ZD REVIEW	RLD	
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1	01/25/13	REVISED PER PLANNING COMMENTS	AF	

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

ENCLOSURE:



SHEET TITLE:

PROPOSED ENLARGED EQUIPMENT
& ANTENNA PLAN

SHEET NUMBER:

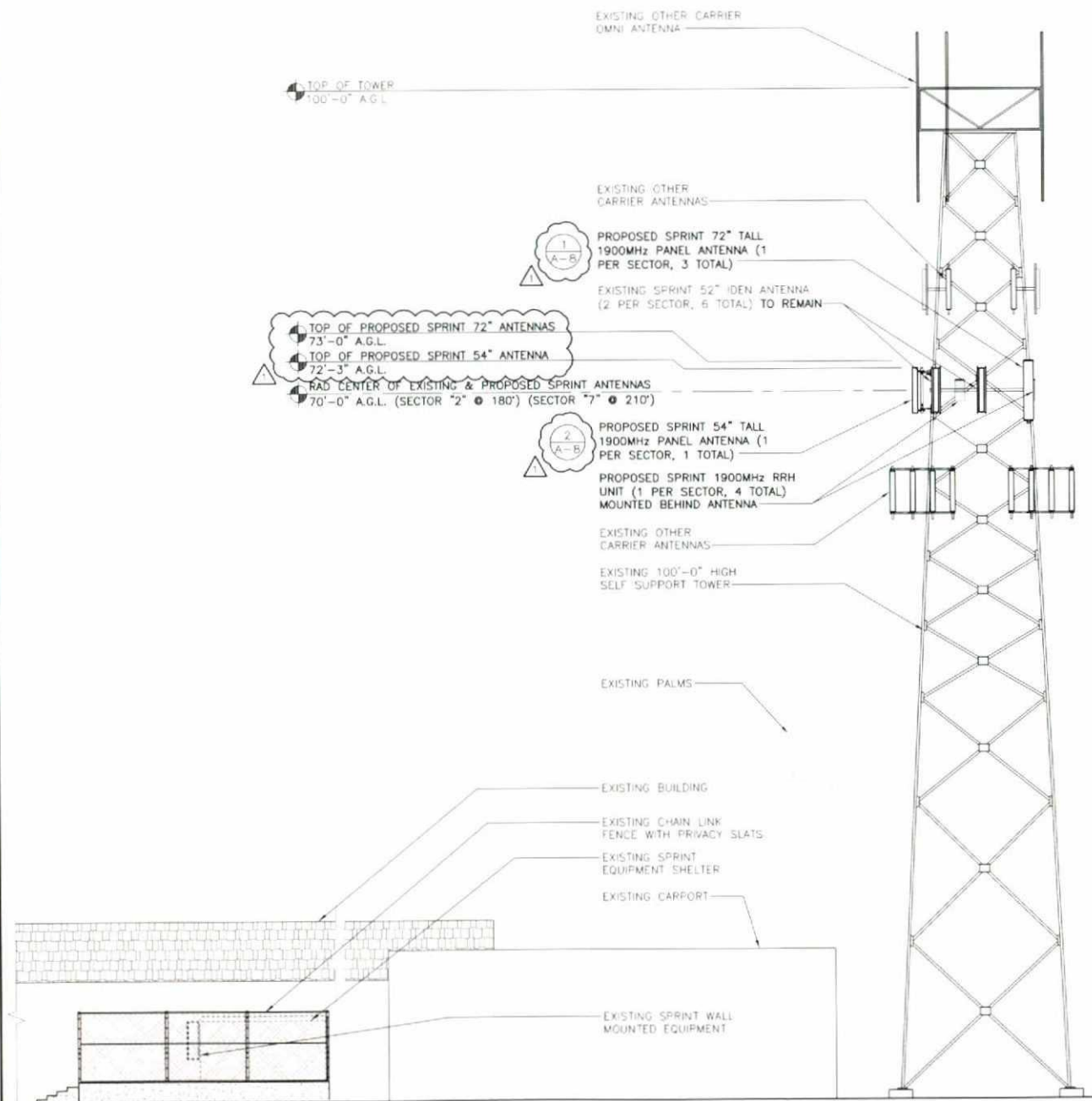
A-3

REVISION:

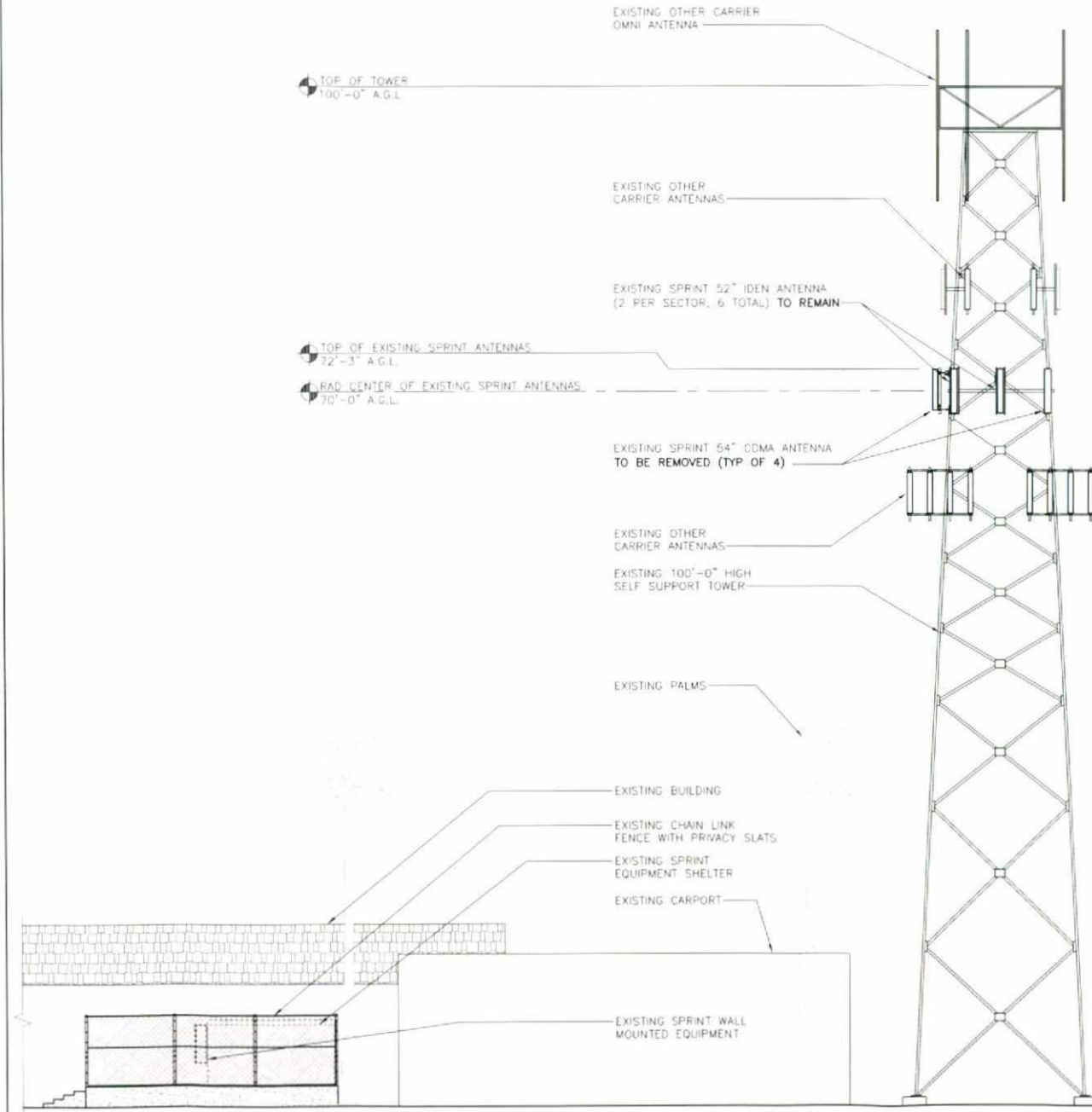
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NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT CDMA COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.



PROPOSED SOUTH ELEVATION 2



EXISTING SOUTH ELEVATION 1

Sprint

Alcatel-Lucent

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 250-5714

PROJECT INFORMATION

NETWORK VISION ARCHITECTS, INC.

BORREGO FIRE
SD54XC453
2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE:

01/25/13

ISSUED BY:

100% ZONING

REVISIONS

REV.	DATE	DESCRIPTION	INITIALS
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NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

ENCLOSURE



SHEET TITLE:

EXISTING & PROPOSED SOUTH ELEVATION

SHEET NUMBER:

REVISION:

A-4

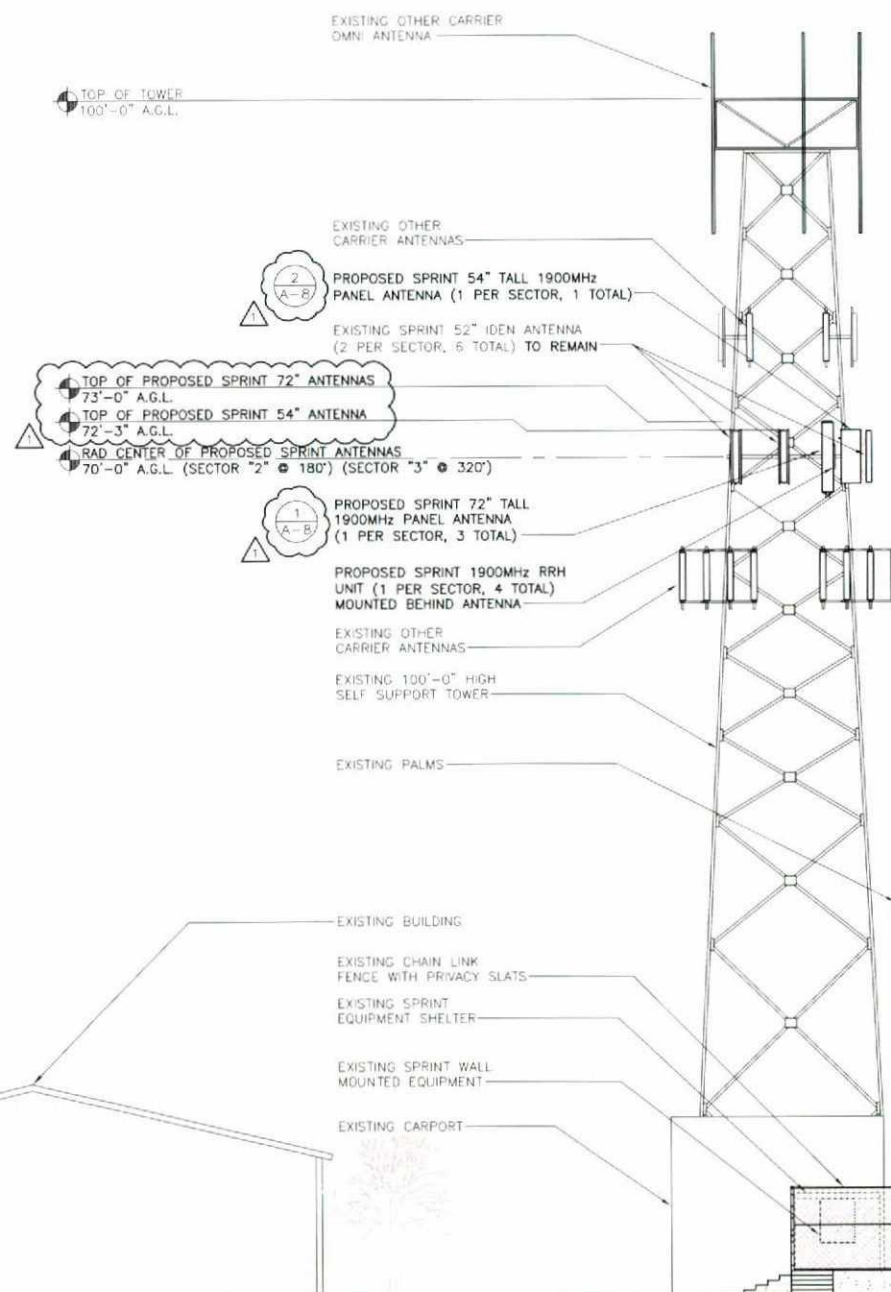
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24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"

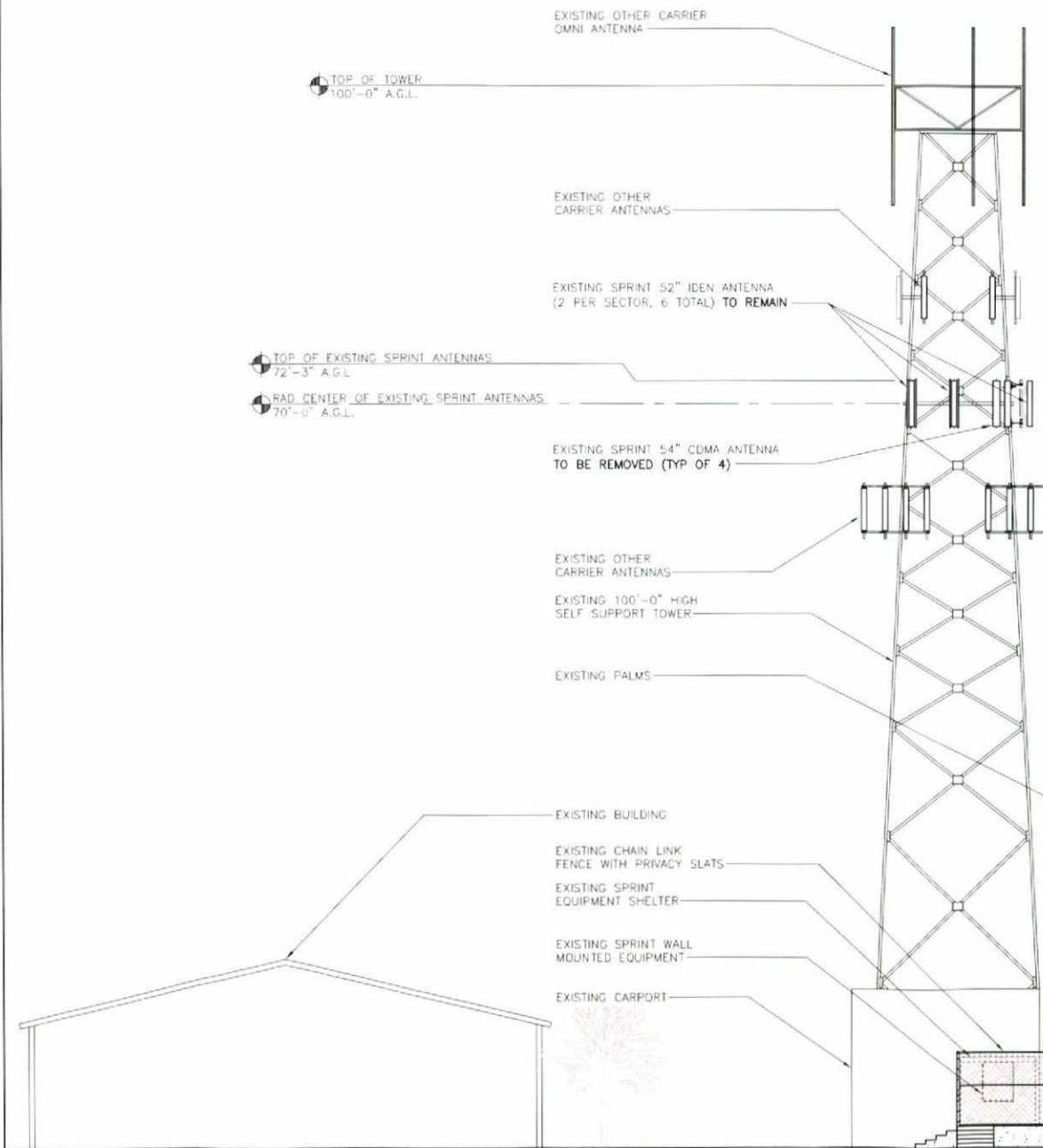
NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT CDMA COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.



PROPOSED WEST ELEVATION 2

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"



EXISTING WEST ELEVATION 1

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"



Sprint

Alcatel-Lucent

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 230-3714

PROJECT INFORMATION:

NETWORK VISION WIRELESS LAN 11

BORREGO FIRE
SD54XC453

2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE:

01/25/13

ISSUED FOR:

100% ZONING

REVISIONS

REV	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% ZD REVIEW	RLD
0	10/03/12	ISSUED FOR 100% ZONING	LB
1	01/25/13	REVISED PER PLANNING COMMENTS	AF

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

LICENSE:



SHEET TITLE:

EXISTING & PROPOSED WEST ELEVATION

SHEET NUMBER:

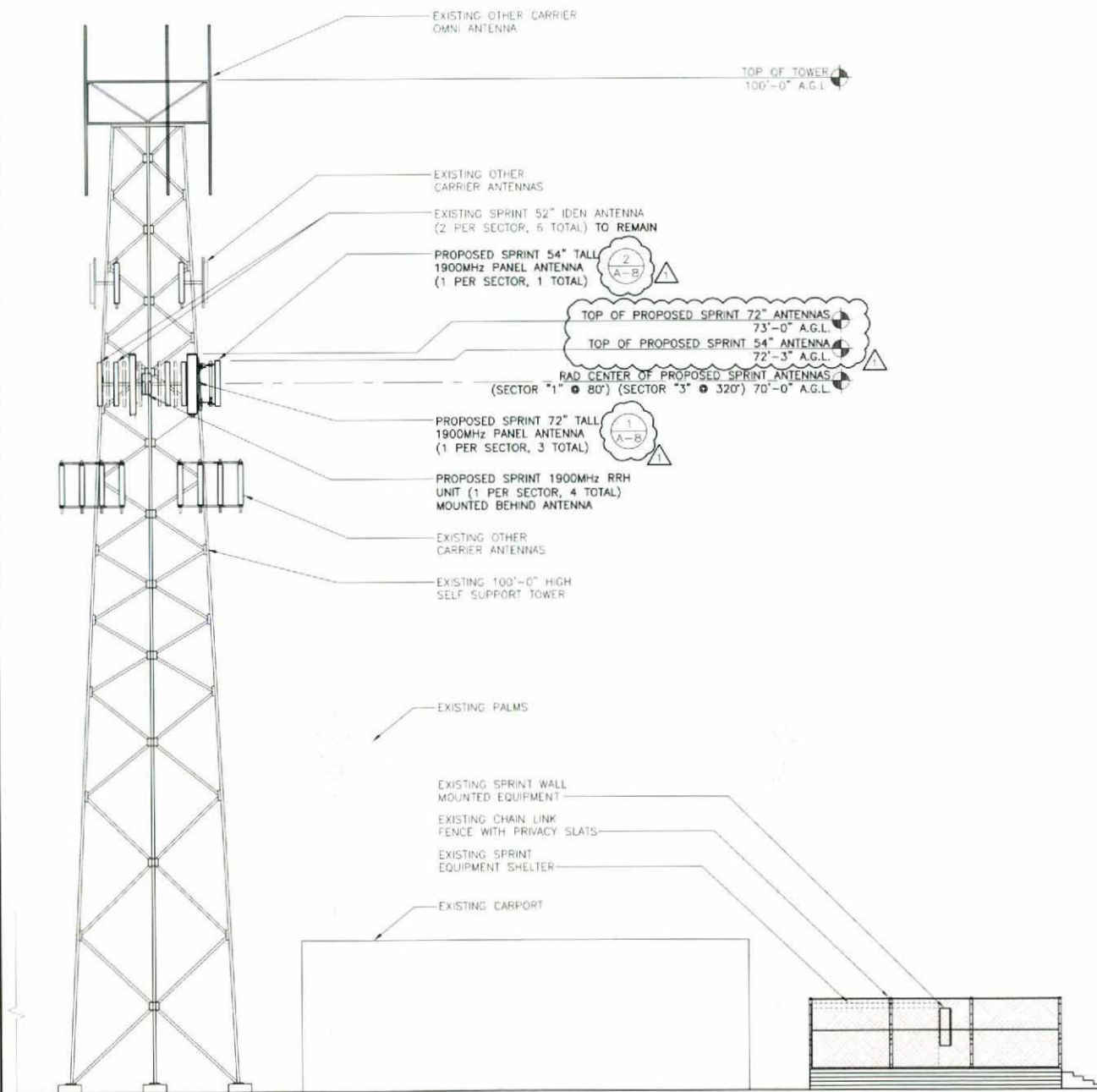
REVISION:

A-5

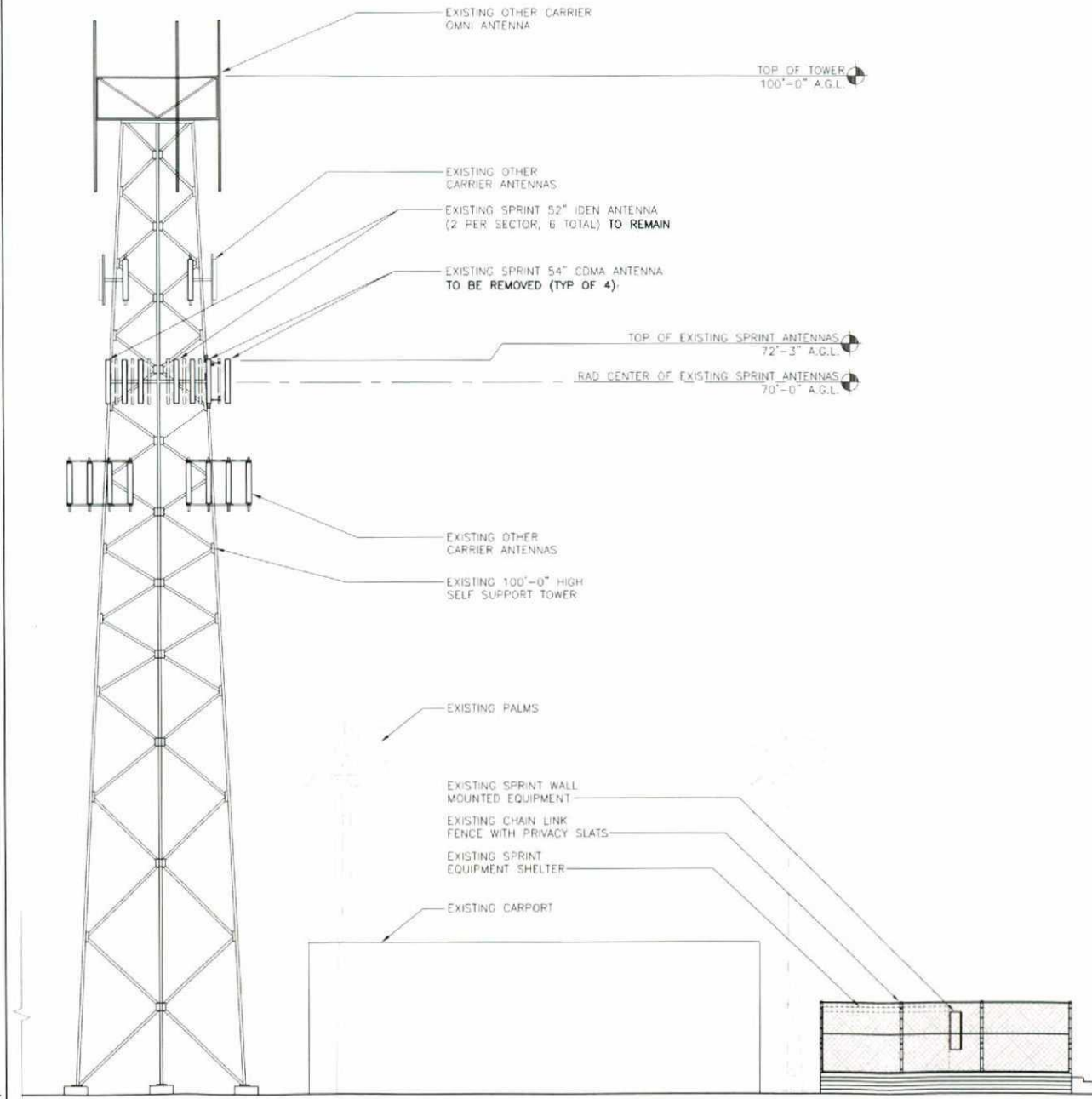
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NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT CDMA COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.



PROPOSED NORTH ELEVATION 2



EXISTING NORTH ELEVATION 1

Sprint

Alcatel-Lucent

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 230-5714

PROJECT INFORMATION:

NETWORK VISION AMBISUMING II
BORREGO FIRE
SD54XC453
2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE:

01/25/13

ISSUED FOR:

100% ZONING

REVISIONS			
REV.	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% ZD REVIEW	RLD
0	10/03/12	ISSUED FOR 100% ZONING	LB
1	01/25/13	REVISED PER PLANNING COMMENTS	AF

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

LICENSURE:



SHEET TITLE:

EXISTING & PROPOSED NORTH ELEVATION

SHEET NUMBER:

REVISION:

A-6

1

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"



PROPOSED NORTH ELEVATION 2

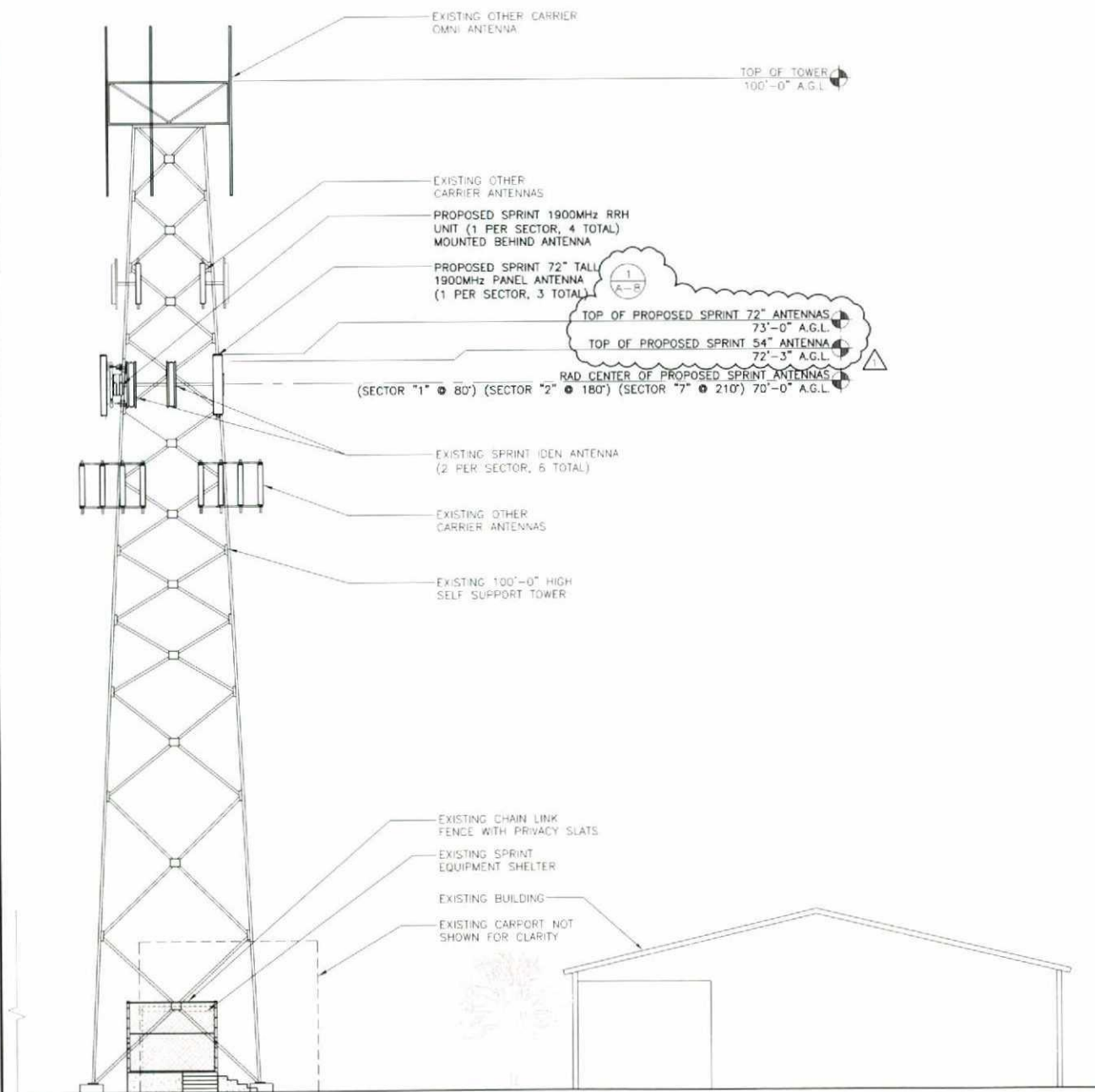
24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"



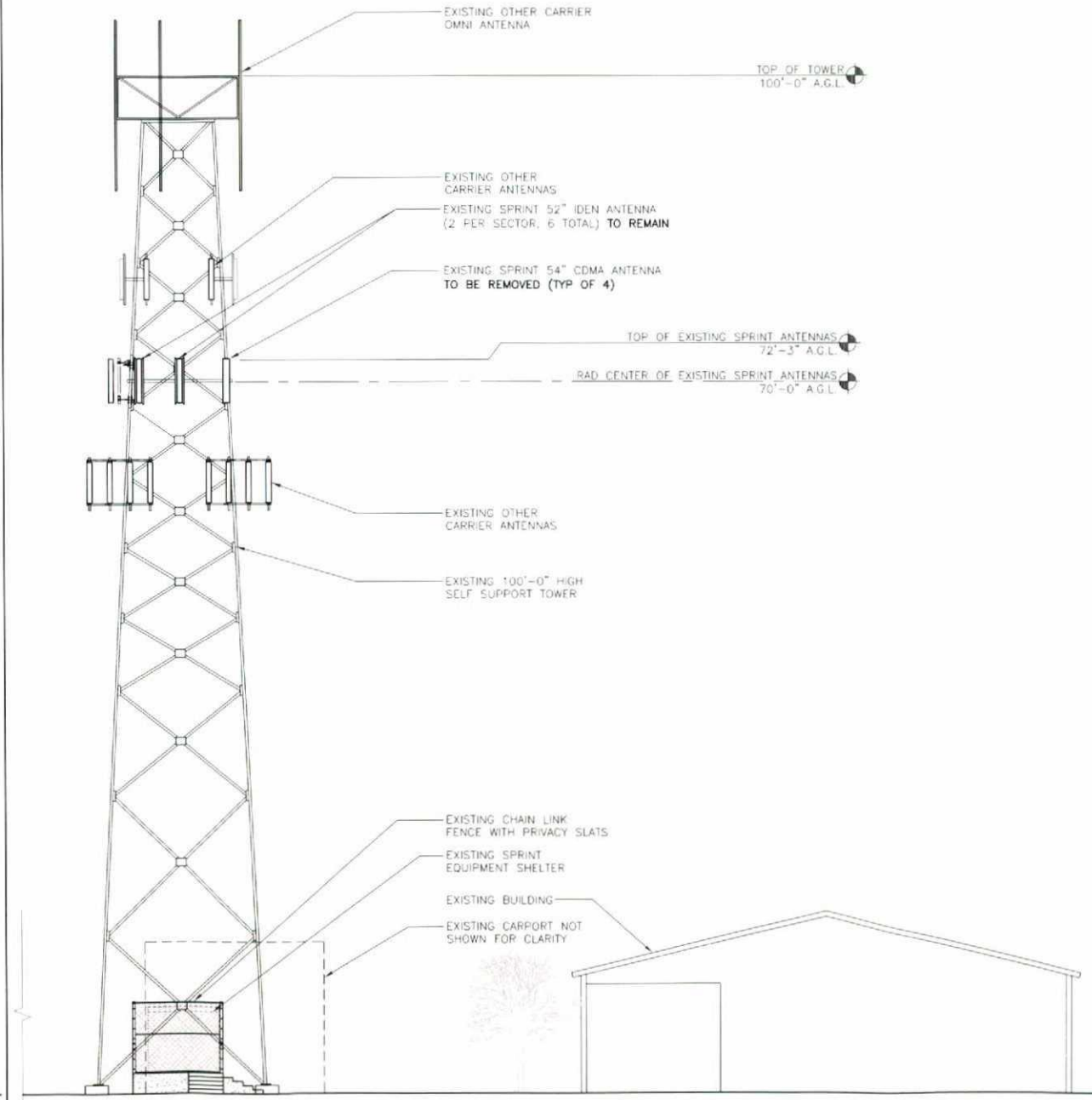
EXISTING NORTH ELEVATION 1

NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT CDMA COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.



PROPOSED EAST ELEVATION 2



EXISTING EAST ELEVATION 1

Sprint

Alcatel-Lucent

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 230-5714

PROJECT INFORMATION:

NETWORK VISION WIRELESS LAUNCH II

BORREGO FIRE
SD54XC453
2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE:

01/25/13

ISSUED FOR:

100% ZONING

REVISIONS

REV.	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% ZD REVIEW	RLD
0	10/03/12	ISSUED FOR 100% ZONING	LB
1	01/25/13	REVISED PER PLANNING COMMENTS	AF

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

ENCLOSURE:



SHEET TITLE:

EXISTING & PROPOSED EAST ELEVATION

SHEET NUMBER:

REVISION:

A-7

1

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"



PROJECT INFORMATION:

NETWORK: VISION MMBEST MUNC II

BORREGO FIRE

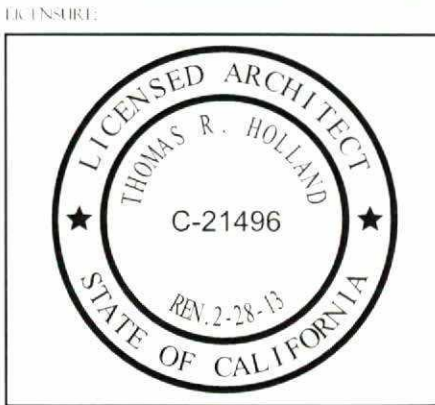
SD54XC453

2324 STIRRUP ROAD
BORREGO SPRINGS, CA 92004
SAN DIEGO COUNTY

ISSUE DATE: 01/25/13

ISSUED FOR: 100% ZONING

REVISIONS			
REV.	DATE	DESCRIPTION	INITIALS
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B	10/03/12	ISSUED FOR 100% ZONING	LB
C	01/25/13	REVISED PER PLANNING COMMENTS	AF
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET			

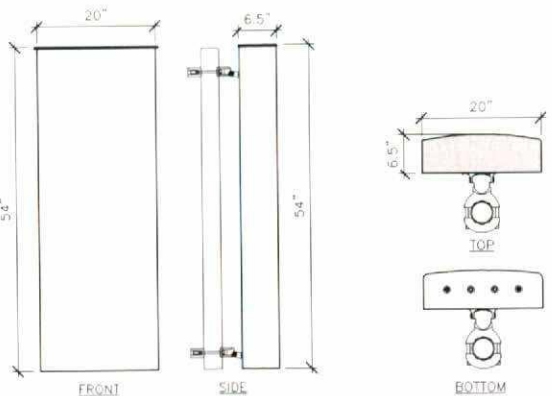


SHEET TITLE: ANTENNA DETAILS	
SHEET NUMBER: A-8	REVISION: 1

NOT USED 4
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

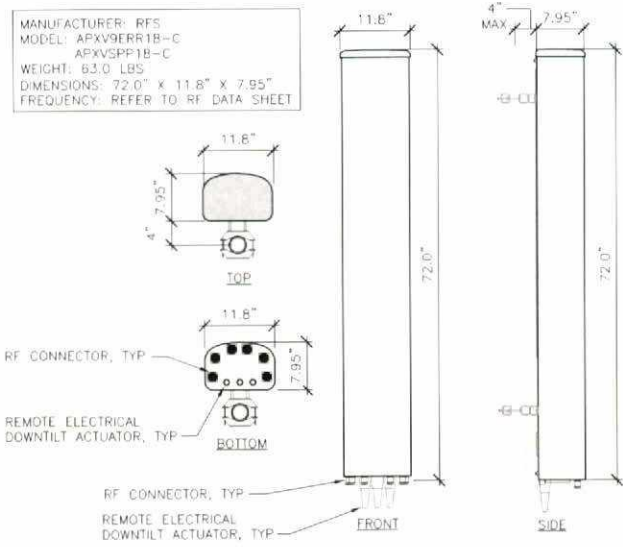
NOT USED 3
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

MANUFACTURER: POWERWAVE
MODEL: P40-16-XLPD-RR
WEIGHT W/O MOUNTING HARDWARE: 53 LBS
DIMENSIONS: HxWxD: 54"x20"x6.5"
FREQUENCY: REFER TO RF DATA SHEET



POWERWAVE ANTENNA SPECIFICATIONS 2
24"x36" SCALE: 3/4" = 1'-0"
11"x17" SCALE: 3/8" = 1'-0"

MANUFACTURER: RFS
MODEL: APXV9ERR1B-C
APXVSP1B-C
WEIGHT: 63.0 LBS
DIMENSIONS: 72.0" X 11.8" X 7.95"
FREQUENCY: REFER TO RF DATA SHEET



ANTENNA INFORMATION
PULLED FROM PRELIMINARY
PRODUCT DATA SHEET

RFS ANTENNA SPECIFICATIONS 1
24"x36" SCALE: 3/4" = 1'-0"
11"x17" SCALE: 3/8" = 1'-0"